

# Admirable Home Inspections, LLC

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Inspected By: Charles Marchese



## Home Inspection Report

Prepared For:

**Unspecified Client**

Property Address:

**Unspecified Address**

Inspected on Mon, Nov 6 2023 at 3:43 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

#### DEFINITION OF CONDITION TERMS

**Satisfactory:** At the time of inspection the component is functional without observed signs of a substantial defect.

**Marginal:** At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

**Repair or Replace:** At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

**Further Evaluation:** The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

# General

House Number:

609-611

Condition: Repair or Replace



Comment 1:

One of the mailboxes are missing the correct address numbering and doors are missing on both boxes. Recommend adding the correct address number and installing the doors.

Property Type:

Multi Family

Stories:

One

Approximate Age:

Approximate Year Built 2022

Age Based On:

Lee County Property Appraiser Report

Furnished:

No

Occupied:

No

(General continued)

Weather:

Overcast

Temperature:

Cool

Utilities On During Inspection:

Electric Service, Water Service

Ground Condition:

Dry

People Present:

Client

# Exterior Grounds

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

The exterior of your home will always slowly deteriorate and age. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

Site Grading:

Mostly Level, Front & Sides, Sloped Away From Structure, Rear

Condition: Repair or Replace





(Exterior Grounds continued)



Comment 2:

The majority of the site grading was in acceptable condition. There was one small depression by the main water line on the side of unit 609. This is collecting water and should be filled to meet the existing grade.

Vegetation:

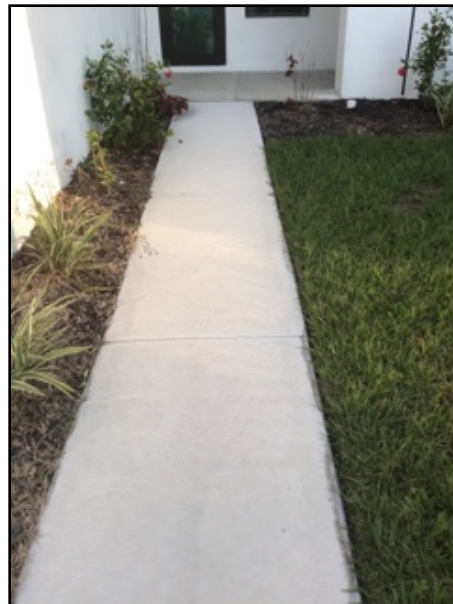
Generally Maintained  
Condition: Satisfactory

(Exterior Grounds continued)

Driveways & Walkways :

Concrete, Cracks

Condition: Repair or Replace





(Exterior Grounds continued)



**Comment 3:**

The driveways were in acceptable condition. Both walkways directly in front of the entryways have cracks. Cracks can develop from settlement in the soil below due to erosion, natural occurring slab settling, shrinking in the concrete which is typically from the evaporation of the water in the concrete during the curing process or expansion in the concrete due to the exposure to the extreme heat and fluctuations in the temperature. It is recommended to contact the contractor/builder to repair or replace as needed.

(Exterior Grounds continued)

Patios:

Concrete, Cracks

Condition: Repair or Replace



Comment 4:

There was a crack in the concrete patio on unit 611. Cracks can develop from settlement in the soil below due to erosion, natural occurring slab settling, shrinking in the concrete which is typically from the evaporation of the water in the concrete during the curing process or expansion in the concrete due to the exposure to the extreme heat and fluctuations in the temperature. It is recommended to contact the contractor/builder to repair.

Patio Location:

Rear of House

Condition: Satisfactory

Fence Material :

Not Present

# Exterior Walls

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Wall Structure :

Concrete Block

Condition: Satisfactory

Exterior Covering:

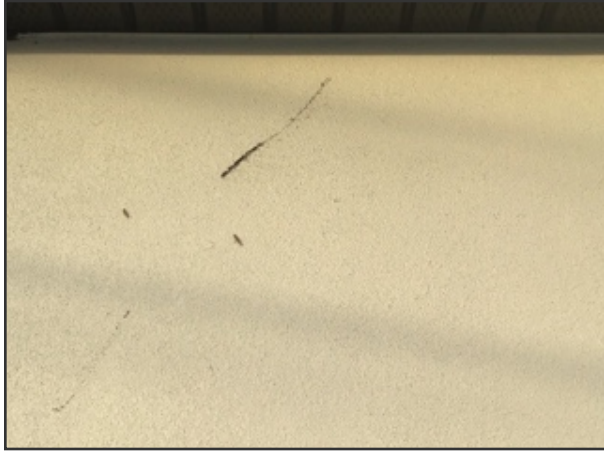
Stucco, Holes in Wall Covering, Scuff Marks in Areas

Condition: Repair or Replace





(Exterior Walls continued)



(Exterior Walls continued)



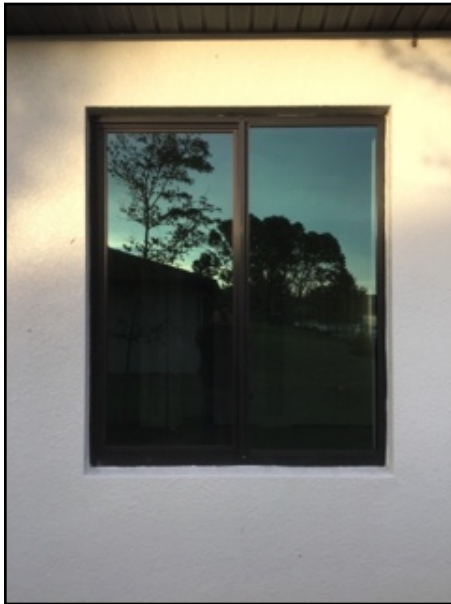
Comment 5:

The majority of the exterior covering was in acceptable condition. There were multiple areas that have scuff marks, scratches, dirt, insect debris and one hole. It is recommended to pressure wash and repair any scratches in the stucco.

Windows:

Missing Screens

Condition: Repair or Replace





(Exterior Walls continued)



Entry Doors:

Locks not Operating as Intended, Door Hinges Secured, Door Thresholds in Acceptable Condition, Weather Stripping Acceptable Condition: Repair or Replace



(Exterior Walls continued)



Comment 6:

The deadbolts on both main entry doors do not operate as intended. The sliding glass door in unit 609 does not operate as intended also. It is recommended to contact the contractor/builder to repair or replace the locks.

# Roofing

This is a visual only inspection of the roof covering, flashings, skylights, chimneys and roof penetrations. The purpose of the inspection is to determine general condition, NOT to determine life expectancy. There are components that are not visible or accessible including the underlayment, decking, flashings, fastening, shingle quality, manufacture installation recommendations, etc.

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

Inspection Method:

Walked Roof

Roof Type:

Hip

Roof Covering:

Architectural Shingle



(Roofing continued)





(Roofing continued)

Vent Stacks:

Metal, Plastic

Condition: Satisfactory



Approximate Roof Age:

Less Than 1 Year

Ventilation Present:

Roof, Soffit

Condition: Satisfactory

Drip Edge :

Noted

Condition: Satisfactory



(Roofing continued)

Defects Observed:

Noted

Condition: Repair or Replace



(Roofing continued)



Comment 7:

There were a few damaged shingle tabs and a section of hip cap shingles were missing. It is recommended to contact the contractor/builder to repair as needed. It is also noted that the temporary covering on the ridge caps have been nailed through the face of the existing shingles. Nails/holes should never be in the shingles that are "in the weather" Those shingles should be replaced.

Gutters :

Aluminum

Condition: Repair or Replace



(Roofing continued)



**Comment 8:**

Day of inspection it was noted that some of the roof system had no gutters. Gutters help deflect water away from the foundation systems and components when accompanied with proper downspouts and extensions. Would recommend contacting a licensed or qualified contractor to install gutters, downspouts and extensions where needed.

Downspouts:

Aluminum, Missing  
Condition: Repair or Replace





(Roofing continued)



Comment 9:

These sections of gutters do not have downspouts. This is allowing the gutter system to drain water directly on the shingles. This can cause premature wear in the shingles. It is recommended to contact the contractor/builder to install downspouts that drain directly to an existing gutter or the ground.

Downspout Extensions:

Long Enough

Condition: Satisfactory



Sky Lights:

Not Present

Soffit and Fascia:

Aluminum

Condition: Satisfactory



---

Comment 10:

Bird are nesting under one of the soffits. It is recommended to contact a licensed pest management company to remove and implement a remedy from nesting to reoccur.

(Roofing continued)



Figure 10-1



Figure 10-2



# Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Service Entrance:	Not Visible
Service Panel Ground:	Unknown Not Visible
Service Voltage & Amps :	240 volts, 200 amps



Service Panel Location:	Garage
-------------------------	--------



Unspecified Address

(Electrical continued)

Service Panel Manufacturer:

Square D  
Condition: Satisfactory



Main Disconnect Location:

Meter Box



Main Disconnect Rating:

200 amp  
Condition: Satisfactory

Space for Additional Breakers:

Yes  
Condition: Satisfactory

(Electrical continued)

Main Panel/Sub Panel Condition : Noted

Condition: Repair or Replace



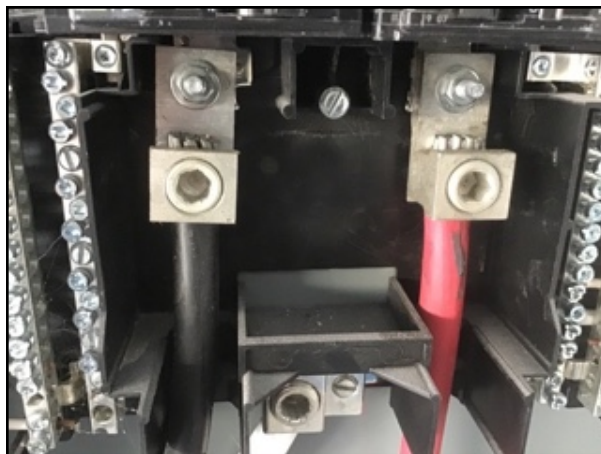
Comment 11:

The service panel cover is not installed properly leaving an opening in the top corners. This can be a safety concern. It is recommended to contact the contractor/builder to have repaired.

Service Line Material:

Aluminum

Condition: Satisfactory



(Electrical continued)

Type of Protection :

Circuit Breakers

Condition: Satisfactory

GFCI/AFCI Breakers:

Yes

Condition: Satisfactory



Double Tapped Breakers :

No

Condition: Satisfactory

Aluminum Branched Wiring  
Present:

Not Present

15 Amp Breakers :

Must be 14 Gauge Wire

Condition: Satisfactory

20 Amp Breakers:

Must be 12 Gauge Wire

Condition: Satisfactory

30 Amp Breakers:

Must be 10 Gauge Wire

Condition: Satisfactory

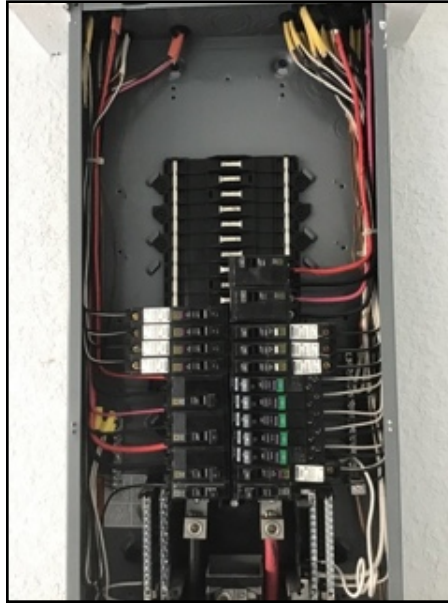
60 Amp Breakers:

Not Present

(Electrical continued)

Type of Branch Circuit Wiring:

Non-Metallic Shielded Copper  
Condition: Satisfactory



Smoke Detectors:

Not Properly Located  
Condition: Repair or Replace



Comment 12:

The garage is missing a smoke and carbon monoxide detector. This can be a safety concern. It is recommended to contact the contractor/builder to install smoke & carbon monoxide detectors.



# Electrical # 611

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Service Entrance:	Not Visible
Service Panel Ground:	Unknown Not Visible
Service Voltage & Amps :	240 volts, 200 amps



Service Panel Location:	Garage
-------------------------	--------



Unspecified Address

(Electrical # 611 continued)

Service Panel Manufacturer:

Square D

Condition: Satisfactory



Main Disconnect Location:

Meter Box



Main Disconnect Rating:

200 amp

Condition: Satisfactory

Space for Additional Breakers:

Yes

Condition: Satisfactory

Main Panel/Sub Panel Condition :

Noted

Condition: Satisfactory

(Electrical # 611 continued)

Service Line Material:

Aluminum

Condition: Satisfactory



Type of Protection :

Circuit Breakers

Condition: Satisfactory

GFCI/AFCI Breakers:

Yes

Condition: Satisfactory



Double Tapped Breakers :

No

Condition: Satisfactory

Aluminum Branched Wiring  
Present:

Not Present

15 Amp Breakers :

Must be 14 Gauge Wire

Condition: Satisfactory

(Electrical # 611 continued)

20 Amp Breakers:

Must be 12 Gauge Wire

Condition: Satisfactory

30 Amp Breakers:

Must be 10 Gauge Wire

Condition: Satisfactory

60 Amp Breakers:

Not Present

Type of Branch Circuit Wiring:

Non-Metallic Shielded Copper

Condition: Satisfactory



Smoke Detectors:

Not Properly Located

Condition: Repair or Replace



Comment 13:

The garage is missing a smoke and carbon monoxide detector. This can be a safety concern. It is recommended to contact the contractor/builder to install smoke & carbon monoxide detectors.



# Garage

Garage Type:

Attached

Condition: Satisfactory

Garage Size:

2 Car



Non-Automobile Doors:

Not Present

Automobile Doors:

One

Condition: Repair or Replace



(Garage continued)



Comment 14:

There were a couple of dents on the garage door. This does not affect the operation of the garage door however is creating the door to not seal completely against the weatherstripping. It was also noted that the weatherstripping was not fastened properly in some areas. Both concerns can allow hot air, water/moisture intrusion in the garage. It is recommended to contact the contractor/builder to replace the damaged section of doors.

Style of Automobile Doors:

Overhead

Condition: Satisfactory

(Garage continued)

Spring Condition :

Noted

Condition: Satisfactory



Lift Cable Condition :

Noted

Condition: Satisfactory



(Garage continued)

Door Release Rope:

Noted

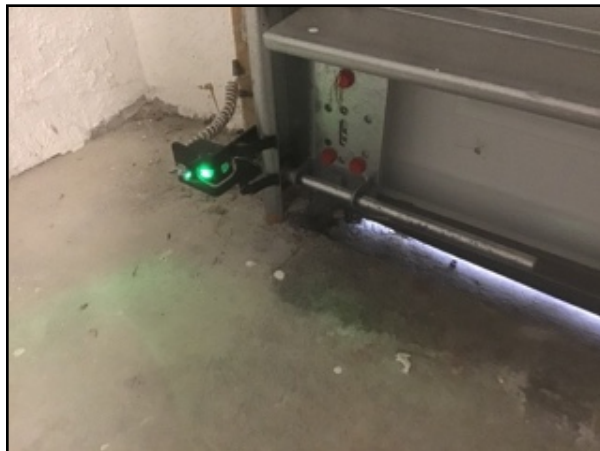
Condition: Satisfactory



Photo Electric Device :

Light Beam

Condition: Further Evaluation Required



Door Opener:

Chain Drive

Condition: Satisfactory

# of Electric Openers:

One

Condition: Satisfactory

Operated Electric Openers:

Operated and Did Not Function Properly

Condition: Repair or Replace



(Garage continued)



**Comment 15:**

Day of inspection it was noted that the garage door did not open and close with the use of the automatic door opener device. This did not allow for a thorough inspection of some components. They have been listed as "Could not Determine". It is recommended to contact the contractor/builder to make repairs.

Operated Door and Applied  
Resistance:  
Floor:

Could not Determine  
Condition: Further Evaluation Required  
Concrete  
Condition: Repair or Replace



(Garage continued)



Comment 16:

There were a few cracks in the garage floor. Cracks can develop from settlement in the soil below due to erosion, natural occurring slab settling, shrinking in the concrete which is typically from the evaporation of the water in the concrete during the curing process or expansion in the concrete due to the exposure to the extreme heat and fluctuations in the temperature. It is recommended to contact the contractor/builder to repair or replace as needed.

Interior Door:

Did Not Self Close

Condition: Repair or Replace



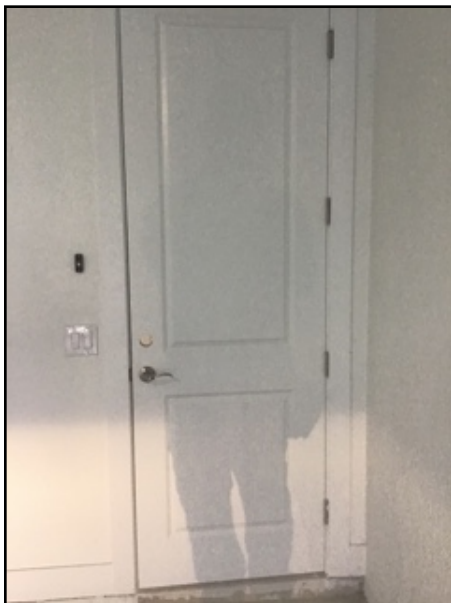
Comment 17:

Day of inspection it was noted that the entry way door leading into living space did not self close. Doors that separate the living space and the garage should be self closing. Would recommend contacting the contractor/builder to repair as necessary.

Interior Door Material :

Fire Rated, Missing Deadbolt Lock

Condition: Repair or Replace



Interior Doors Operated :

Easily

Condition: Satisfactory

## Garage # 611

Garage Type:

Attached

Condition: Satisfactory

Garage Size:

2 Car



Non-Automobile Doors:

Not Present

Automobile Doors:

One

Condition: Repair or Replace



(Garage # 611 continued)



**Comment 18:**

There were a couple of dents on the garage door. This does not affect the operation of the garage door however is creating the door to not seal completely against the weatherstripping. It was also noted that the weatherstripping has openings at the top corners. The weatherstripping was not installed properly. Both concerns can allow hot air, water/moisture intrusion in the garage. It is recommended to contact the contractor/builder to replace the damaged section of doors and replace the weatherstripping.

Style of Automobile Doors:

Overhead

Condition: Satisfactory



(Garage # 611 continued)

Spring Condition :

Noted

Condition: Satisfactory



Lift Cable Condition :

Noted

Condition: Satisfactory



(Garage # 611 continued)

Door Release Rope:

Noted

Condition: Satisfactory



Photo Electric Device :

Light Beam

Condition: Further Evaluation Required

Door Opener:

Chain Drive

# of Electric Openers:

One

Condition: Satisfactory

Operated Electric Openers:

Operated and Did Not Function Properly

Condition: Repair or Replace



Comment 19:

Day of inspection it was noted that the garage door did not open and close with the use of the automatic door opener device. This did not allow for a thorough inspection of some components. They have been listed as "Could not Determine". It is recommended to contact the contractor/builder to make repairs.

Operated Door and Applied  
Resistance:

Could not Determine

Condition: Further Evaluation Required

(Garage # 611 continued)

Floor:

Concrete

Condition: Repair or Replace



(Garage # 611 continued)



Comment 20:

There were a few cracks in the garage floor. Cracks can develop from settlement in the soil below due to erosion, natural occurring slab settling, shrinking in the concrete which is typically from the evaporation of the water in the concrete during the curing process or expansion in the concrete due to the exposure to the extreme heat and fluctuations in the temperature. It is recommended to contact the contractor/builder to repair or replace as needed.

Interior Door:

Did Not Self Close

Condition: Repair or Replace



Comment 21:

Day of inspection it was noted that the weather stripping was damaged. Weather stripping is used to keep warm and cold air out and helps save on energy costs. Would recommend contacting the contractor/builder to repair.



(Garage # 611 continued)

Interior Door Material :

Fire Rated

Condition: Satisfactory



Interior Doors Operated :

Easily

Condition: Satisfactory



Comment 22:

A mounting bracket for the garage door was not fastened. it is recommended to contact the contractor/builder to repair.

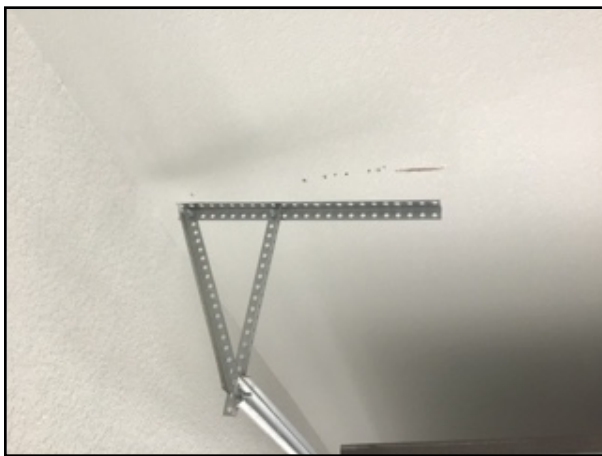


Figure 22-1

# Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Styles:	Slab on Grade
General Area of Dampness:	Not Present
Signs of Water Penetration:	Not Present
Water Stains Observed On :	Not Present
Floor Drainage:	Not Present
Sump Pump:	Not Present

## Attic

Attic Entry:

Ceiling Access

Condition: Repair or Replace



Comment 23:

Unit 611 was missing the attic hatch cover. It was also noted that the attic hatch in unit 609 does not completely close. This can allow conditioned air to enter the attic. It is recommended to contact the contractor/builder to make repairs.

How Observed:

Limited Viewing Due to a Lack of Access & Safety Conditions

Condition: Further Evaluation Required

(Attic continued)



**Comment 24:**

Day of inspection it was noted that the attic had limited access and poses a safety concern and or the possibility of damage to duct work, electrical wires, plumbing and sheetrock etc The inspector was unable to evaluate 100 % of the attic area and components which may include but not limited to the roof framing, roof decking material, moisture, ventilation, soffit vents, insulation, bathroom duct work ect.... Areas that were accessible appeared to be in acceptable condition. It is recommended to further evaluate areas that were not accessible.

Roof Framing Type:

Wood Trusses, 24" On Center  
Condition: Satisfactory



(Attic continued)



Roof Deck Material:

Plywood

Condition: Satisfactory

Condensation on Roof Nails:

Not Present

Black Circles Around The Nails :

Not Present

Delaminated Sheathing:

Not Present

Attic Floor Framing:

Not Present

Moisture Penetration:

Not Present

Ventilation :

Soffit Vents, Roof Vents

Condition: Satisfactory

Insulation:

Fiberglass Batts, Floor

Condition: Satisfactory



Bathroom Vent Ductwork :

Noted and Goes Outside

Condition: Satisfactory

(Attic continued)



Comment 25:

The outlet located in the attic in unit 609 was not wired properly. It has a hot neutral wires reversed. It is recommended to contact the contractor/builder to repair.



Figure 25-1



# Heating

Location: Attic  
 Condition: Satisfactory

Heating System Type: Forced Hot Air  
 Condition: Satisfactory

Energy Source : Electric  
 Condition: Satisfactory

Approximate Age: New  
 Condition: Satisfactory

Brand Name : RUUD  
 Condition: Satisfactory



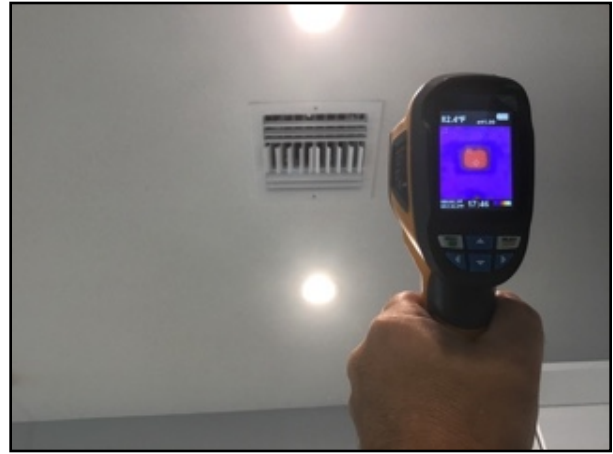
Emergency Shut Off Switch : Noted Above the Unit  
 Condition: Satisfactory



(Heating continued)

Thermostat Was Turned on, the  
System :

Fired and Gave Heat  
Condition: Satisfactory



Distribution :

Ductwork  
Condition: Satisfactory

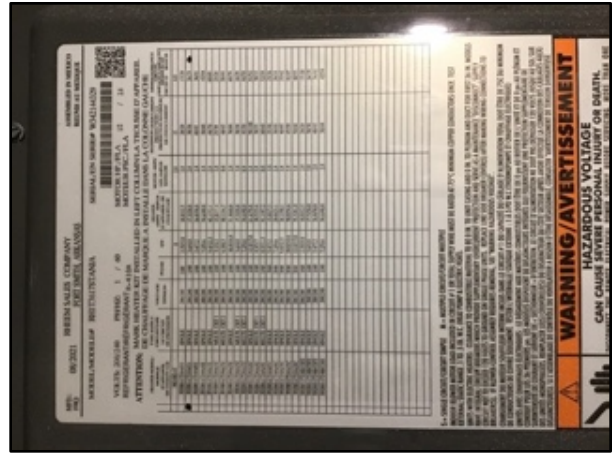


Comment 26:

It is recommended to have the HVAC system serviced and filters replaced by a licensed HVAC company based on the manufactures suggestions. This can help increase the life expectancy and efficiency of the system and system components.

# Heating # 611

Location: Attic  
 Condition: Satisfactory  
 Heating System Type: Forced Hot Air  
 Condition: Satisfactory  
 Energy Source : Electric  
 Condition: Satisfactory  
 Approximate Age: New  
 Condition: Satisfactory  
 Brand Name : RUUD  
 Condition: Satisfactory



Emergency Shut Off Switch : Noted Above the Unit  
 Condition: Satisfactory



(Heating # 611 continued)

Thermostat Was Turned on, the  
System :

Fired and Gave Heat  
Condition: Satisfactory



Distribution :

Ductwork  
Condition: Satisfactory



Comment 27:

It is recommended to have the HVAC system serviced and filters replaced by a licensed HVAC company based on the manufactures suggestions. This can help increase the life expectancy and efficiency of the system and system components.

RUUD

A close-up photograph of the front grille of a silver vehicle. The grille consists of several vertical slats. In the center, there is a circular badge with the word 'RUGO' in red capital letters on a black background, surrounded by a silver ring. The vehicle's body is silver and shows some minor surface marks. The background is a plain, light-colored wall.



## Split System

Condition: Satisfactory

Operated

Condition: Satisfactory



## Appeared Cool

Approximate Age of System :

Condition: Satisfactory

New

Condition: Satisfactory



(Cooling continued)

Energy Source:

Electric

Condition: Satisfactory

A/C Pad:

Concrete, Seemed Level

Condition: Satisfactory



Electrical Disconnect :

Noted and in Good Condition

Condition: Satisfactory

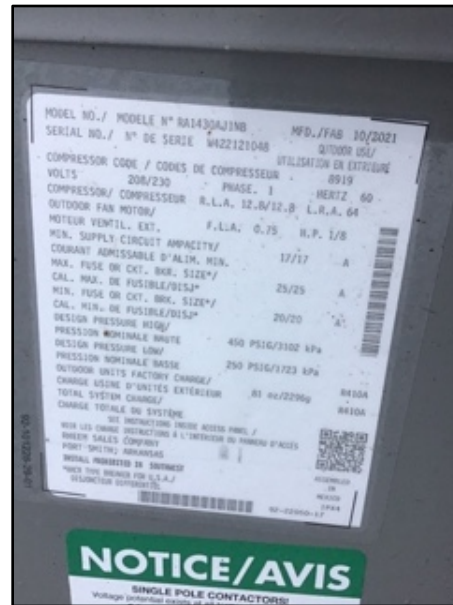


# Cooling # 611

Brand Name :

RUUD

Condition: Satisfactory



A/C Type:

Split System

Condition: Satisfactory

Status:

Operated

Condition: Satisfactory



Approximate Age of System :

New

Condition: Satisfactory

Energy Source:

Electric

Condition: Satisfactory

(Cooling # 611 continued)

A/C Pad:

Concrete, Seemed Level  
Condition: Satisfactory



Electrical Disconnect :

Noted and in Good Condition  
Condition: Satisfactory



# Plumbing

Water Service Type:

Public

Location of Main Water Shutoff:

Exterior



Supply Pipe/Main Entry Pipe:

Copper

Condition: Satisfactory

Interior Supply Pipes :

CPVC, PEX

Condition: Satisfactory

Sewer System:

Public



Comment 28:

Water was ran through all faucets and showers and the toilet was flushed for undetermined amount of time. This test determined that there was no back up or concerns in waste water exiting the house.

Waste Pipe Material:

PVC

Condition: Satisfactory



Comment 29:

It should be noted that the majority of the waste pipe material is not visible to inspect. It is typical that the waste pipe is below the concrete slab and cannot be visually inspected. Waste pipe material that was visible was PVC and in acceptable condition.

(Plumbing continued)

Main Waste Line Clean Outs:

Noted

Condition: Satisfactory



Functional Flow Test :

Noted

Condition: Satisfactory



Comment 30:

Day of inspection it was noted that water was ran from multiple faucets, showers/tubs for an undetermined amount of time. This test determined that there was not a concern in the water pressure.

Vent Pipes Observed:

On Roof

Condition: Satisfactory

## Water Heater



(Water Heater continued)

Location of System:

Garage , Accessible for Maintenance  
Condition: Satisfactory



Manufacturer:

AO Smith



Type of System :

Storage Tank

Energy Source:

Condition: Satisfactory

Electric

Size of Gauge Wiring:

Should be 10 Gauge

Condition: Satisfactory

Size of Breaker:

Should be 30 amp

Condition: Satisfactory

Capacity:

40 gal

(Water Heater continued)

Temp & Pressure Relief Valve:

Noted

Condition: Satisfactory



Safety Extension :

Noted

Condition: Satisfactory

Water Supply/Shut Off Valve:

Noted

Condition: Satisfactory



Water Heater Drain :

Discharges to Floor

Condition: Satisfactory

Rust or Corrosion :

Not Present

Signs of Water Leaks:

Not Present

Testing of Hot water :

Noted

Condition: Satisfactory

(Water Heater continued)



Comment 31:

Day of inspection it was noted that multiple faucets were tested for hot water and hot water was received at all locations.



Comment 32:

It is recommended to have the water heater drained/flushed/serviced by a licensed plumber annually. This can help increase the life expectancy and efficiency of the system and system components.

# Plumbing # 611

Water Service Type:

Public

Location of Main Water Shutoff:

Exterior



Supply Pipe/Main Entry Pipe:

Copper

Condition: Satisfactory

Interior Supply Pipes :

CPVC

Condition: Satisfactory

Sewer System:

Public



Comment 33:

Water was ran through all faucets and showers and the toilet was flushed for undetermined amount of time. This test determined that there was no back up or concerns in waste water exiting the house.

Waste Pipe Material:

PVC

Condition: Satisfactory



Comment 34:

It should be noted that the majority of the waste pipe material is not visible to inspect. It is typical that the waste pipe is below the concrete slab and cannot be visually inspected. Waste pipe material that was visible was PVC and in acceptable condition.

(Plumbing # 611 continued)

Main Waste Line Clean Outs:

Noted

Condition: Satisfactory



Functional Flow Test :

Noted

Condition: Satisfactory



Comment 35:

Day of inspection it was noted that water was ran from multiple faucets, showers/tubs for an undetermined amount of time. This test determined that there was not a concern in the water pressure.

Vent Pipes Observed:

On Roof

Condition: Satisfactory

## Water Heater



(Water Heater continued)

Location of System:

Garage , Accessible for Maintenance  
Condition: Satisfactory



Manufacturer:

AO Smith



Type of System :

Storage Tank

Energy Source:

Condition: Satisfactory

Electric

Size of Gauge Wiring:

Should be 10 Gauge

Size of Breaker:

Condition: Satisfactory

Should be 30 amp

Capacity:

Condition: Satisfactory

40 gal

(Water Heater continued)

Temp & Pressure Relief Valve:

Noted

Condition: Satisfactory



Safety Extension :

Noted, Facing Down & within 8" of the Floor

Condition: Satisfactory

Water Supply/Shut Off Valve:

Noted

Condition: Satisfactory



Water Heater Drain :

Discharges to Floor

Condition: Satisfactory

Rust or Corrosion :

Not Present

Signs of Water Leaks:

Not Present

Testing of Hot water :

Noted

Condition: Satisfactory

(Water Heater continued)



Comment 36:

Day of inspection it was noted that multiple faucets were tested for hot water and hot water was received at all locations.



Comment 37:

It is recommended to have the water heater drained/flushed/serviced by a licensed plumber annually. This can help increase the life expectancy and efficiency of the system and system components.

# Bathrooms

## Bathroom 1

Bath Tub:

Built in , Missing/Damaged Caulking  
Condition: Repair or Replace



Shower:

In Tub  
Condition: Satisfactory

(Bathroom 1 continued)

Shower Walls:

Tile, Missing/Damaged Caulking  
Condition: Repair or Replace





(Bathroom 1 continued)



**Comment 38:**

Day of inspection it was noted that there were areas of cracked/missing grout. This can allow water/moisture to get behind the tile and create additional concerns. Would recommend contacting the contractor/builder to repair as needed.

Hot Water Verified At Shower:

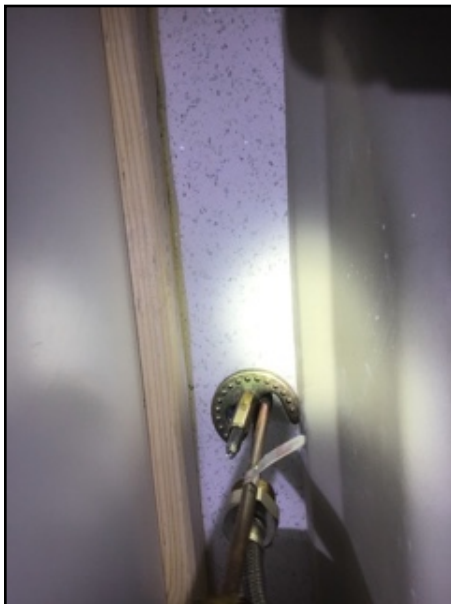
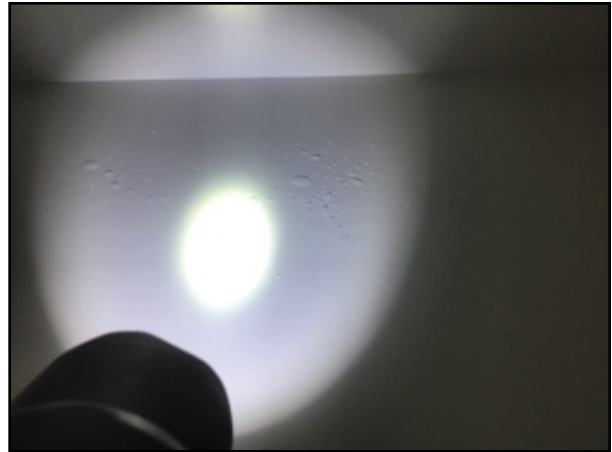
Yes

Condition: Satisfactory

Sink(s):

Single Vanity

Condition: Repair or Replace



(Bathroom 1 continued)



Comment 39:

The sink was not sealed properly to the counter. This was causing a leak in the vanity. It is recommended to contact the contractor/builder to repair.

Hot Water Verified At Sink :

Yes

Condition: Satisfactory

Toilet:

Standard Tank, Flushed and Functioned Properly

Condition: Repair or Replace



(Bathroom 1 continued)



Comment 40:

The toilet was placed to far from the wall. This is allowing to much space between the tank and the wall. The tank cover did not fit properly which is prohibiting the seat and cover to stay up. It is recommended to contact the contractor/builder to install the toilet properly and install the proper tank cover.

Bidet:

Not Present

Floor:

Tile

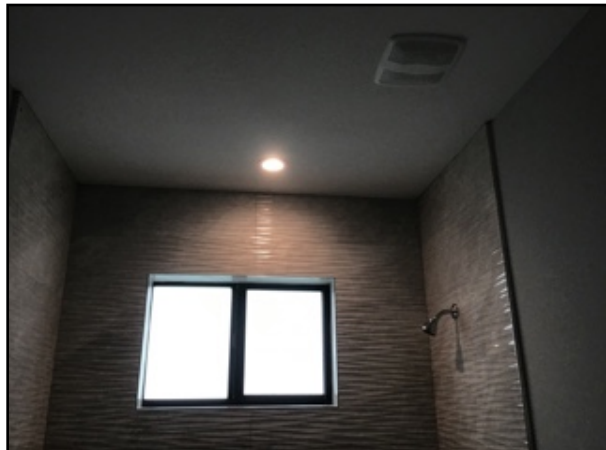
Condition: Satisfactory



Ventilation Type:

Ventilator, Window

Condition: Satisfactory



Outlets:

One

Condition: Satisfactory

(Bathroom 1 continued)

GFCI Protection:

Yes and working  
Condition: Satisfactory



Functional Flow Test:

Acceptable Drop in Pressure  
Condition: Satisfactory

Signs of Excessive Moisture :

Not Present

## Bathroom 2

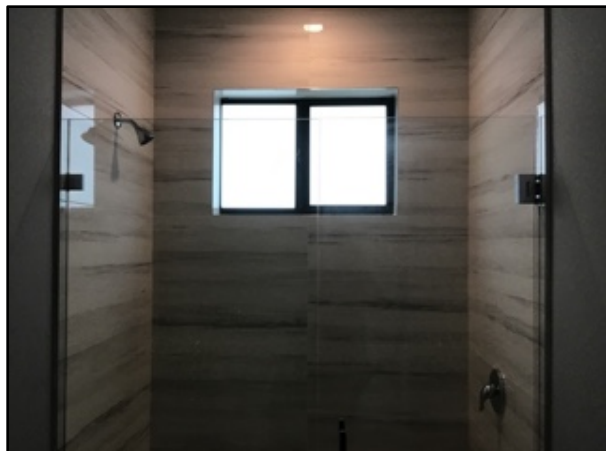
Bath Tub:

Not Present

Shower:

Stall

Condition: Satisfactory



(Bathroom 2 continued)

Shower Walls:

Tile, Missing/Damaged Caulking  
Condition: Repair or Replace



Comment 41:

Day of inspection it was noted that there were areas of cracked/missing grout. This can allow water/moisture to get behind the tile and create additional concerns. Would recommend contacting a licensed contractor to repair as needed.



(Bathroom 2 continued)

Hot Water Verified At Shower:

Yes

Condition: Satisfactory



Sink(s):

Double Vanity

Condition: Satisfactory



Hot Water Verified At Sink :

Yes

Condition: Satisfactory

(Bathroom 2 continued)

Toilet:

Standard Tank  
Condition: Repair or Replace



(Bathroom 2 continued)



Comment 42:

The toilet was placed to far from the wall. This is allowing to much space between the tank and the wall. The tank cover did not fit properly which is prohibiting the seat and cover to stay up. It is recommended to contact the contractor/builder to install the toilet properly and install the proper tank cover.

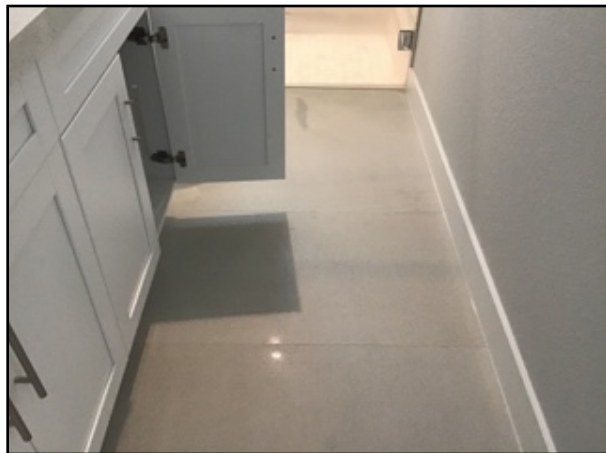
Bidet:

Not Present

Floor:

Tile

Condition: Satisfactory



Ventilation Type:

Ventilator, Window

Condition: Repair or Replace



(Bathroom 2 continued)



**Comment 43:**

The window was difficult to open and close. It is recommended to contact the contractor/builder to repair.

Outlets:	Two Condition: Satisfactory
GFCI Protection:	Yes and working Condition: Satisfactory
Functional Flow Test:	Acceptable Drop in Pressure Condition: Satisfactory
Signs of Excessive Moisture :	Not Present



**Comment 44:**

The vanity lights were missing. vanity lights were installed in other bathrooms. It is recommended to contact the contractor/builder to install vanity lights.



Figure 44-1

# Bathrooms # 611

## Bathroom 1

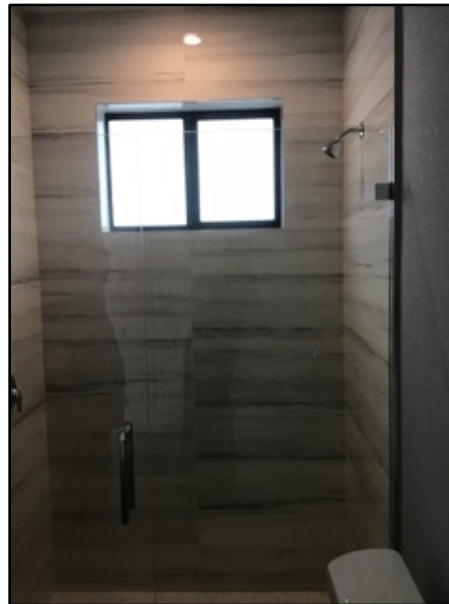
Bath Tub:

Not Present

Shower:

Stall

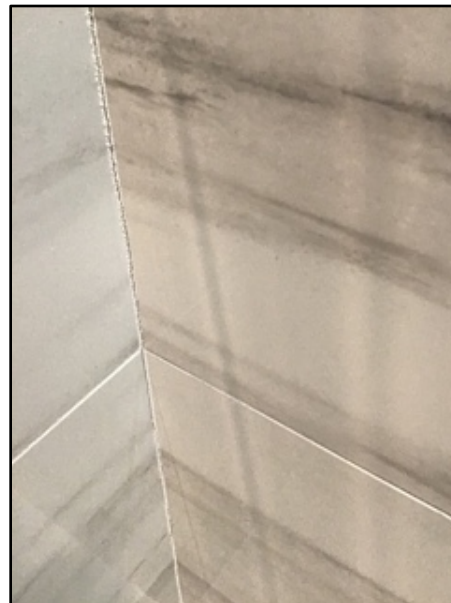
Condition: Satisfactory



Shower Walls:

Tile, Missing/Damaged Caulking

Condition: Repair or Replace





(Bathroom 1 continued)



**Comment 45:**

Day of inspection it was noted that there were areas of cracked/missing grout. This can allow water/moisture to get behind the tile and create additional concerns. Would recommend contacting a licensed contractor to repair as needed.

Hot Water Verified At Shower:

Yes

Condition: Satisfactory



(Bathroom 1 continued)

Sink(s):

Double Vanity, Drain Stop not Operating or Missing

Condition: Repair or Replace



Hot Water Verified At Sink :

Yes

Condition: Satisfactory

Toilet:

Standard Tank

Condition: Repair or Replace



(Bathroom 1 continued)



Comment 46:

The toilet was placed too far from the wall. This is allowing too much space between the tank and the wall. The tank cover did not fit properly which is prohibiting the seat and cover to stay up. It is recommended to contact the contractor/builder to install the toilet properly and install the proper tank cover.

Bidet:

Not Present

Floor:

Tile

Condition: Satisfactory



(Bathroom 1 continued)

Ventilation Type:

Ventilator, Window

Condition: Repair or Replace



Comment 47:

The window was difficult to open and close. It is recommended to contact the contractor/builder to repair.

Outlets:

Two

Condition: Satisfactory

GFCI Protection:

Yes and working

Condition: Satisfactory



Leaks Noticed:

Not Present

Functional Flow Test:

Acceptable Drop in Pressure

Condition: Satisfactory

Signs of Excessive Moisture :

Not Present

(Bathrooms # 611 continued)

## Bathroom 2

Bath Tub:

Built in

Condition: Satisfactory



Shower:

In Tub

Condition: Satisfactory

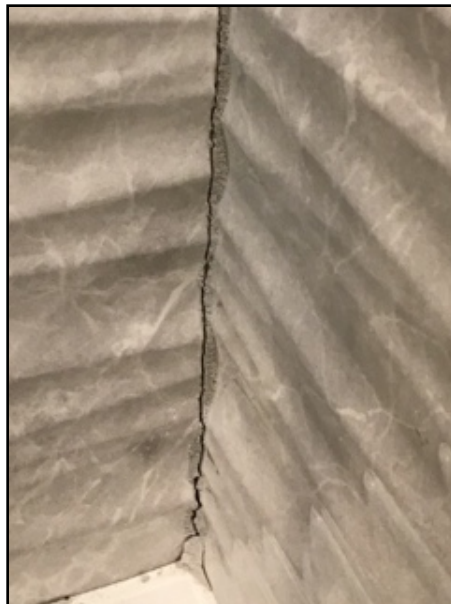
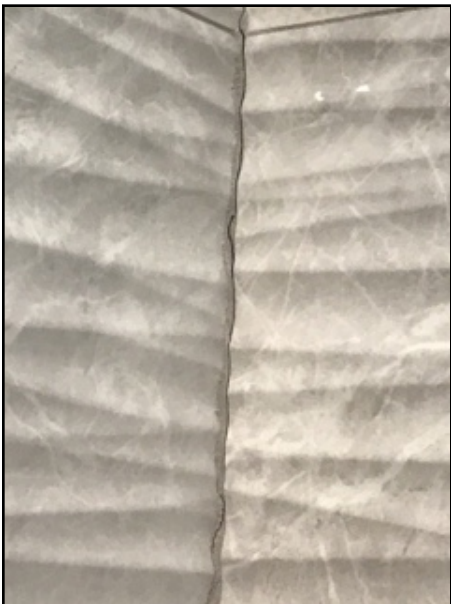




(Bathroom 2 continued)

Shower Walls:

Tile, Missing/Damaged Caulking  
Condition: Repair or Replace



(Bathroom 2 continued)



Comment 48:

Day of inspection it was noted that there were areas of cracked/missing grout. This can allow water/moisture to get behind the tile and create additional concerns. Would recommend contacting a licensed contractor to repair as needed.

Hot Water Verified At Shower:

Yes

Condition: Satisfactory



Sink(s):

Single Vanity

Condition: Satisfactory



Hot Water Verified At Sink :

Yes

Condition: Satisfactory

(Bathroom 2 continued)

Toilet:

Standard Tank

Condition: Repair or Replace



Comment 49:

The toilet was placed too far from the wall. This is allowing too much space between the tank and the wall. The tank cover did not fit properly which is prohibiting the seat and cover to stay up. It is recommended to contact the contractor/builder to install the toilet properly and install the proper tank cover.

Bidet:

Not Present

(Bathroom 2 continued)

Floor:

Tile

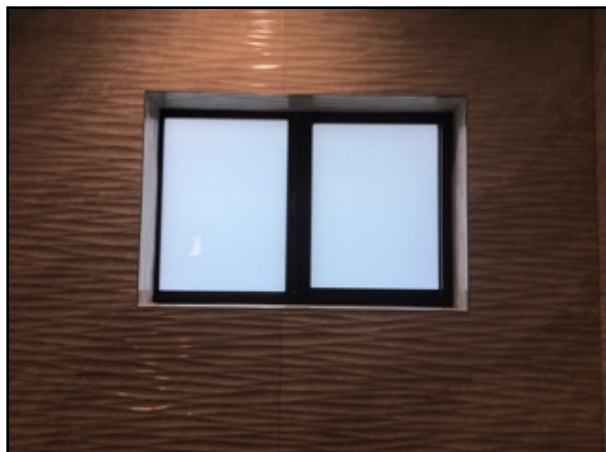
Condition: Satisfactory



Ventilation Type:

Ventilator, Window

Condition: Repair or Replace



Comment 50:

The window was difficult to open and close. It is recommended to contact the contractor/builder to repair.

Outlets:

One

Condition: Satisfactory

GFCI Protection:

Yes and working

Condition: Satisfactory

Leaks Noticed:

Not Present

(Bathroom 2 continued)

Functional Flow Test:	Acceptable Drop in Pressure
	Condition: Satisfactory
Signs of Excessive Moisture :	Not Present

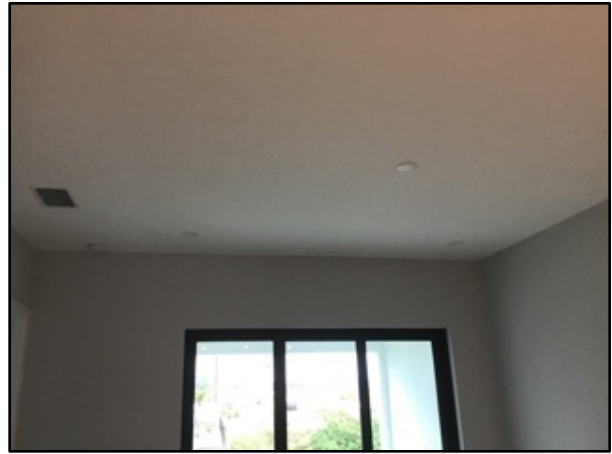


# General Interior

Walls, Floors, Ceilings:

Tile, Drywall

Condition: Satisfactory



Floors Felt :

Level

Condition: Satisfactory

Electrical:

Switches and Outlets, Smoke Detector, Three Pronged

Condition: Satisfactory



Comment 51:

Doorstops are missing on all interior doors. It is recommended to contact the contractor/builder to install doorstops on all doors.

# General Interior # 611

Walls, Floors, Ceilings:

Tile, Drywall

Condition: Satisfactory



Floors Felt :

Level

Condition: Satisfactory

Electrical:

Switches and Outlets, Smoke Detector, Three Pronged

Condition: Satisfactory



Comment 52:

Doorstops are missing on all interior doors. It is recommended to contact the contractor/builder to install doorstops on all doors.

# Bedrooms

Flooring :

Tile

Condition: Satisfactory



(Bedrooms continued)

Ceiling & Wall Covering :

Drywall

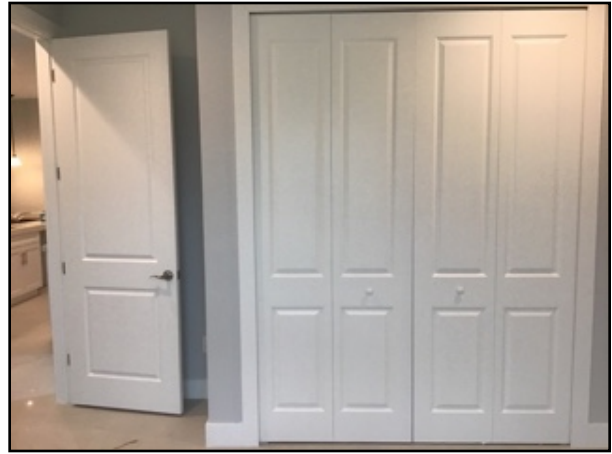
Condition: Satisfactory



(Bedrooms continued)

Doors:

Missing in one room  
Condition: Repair or Replace



Comment 53:

The bifold closet doors were not installed. It is recommended to contact the contractor/builder to install.



(Bedrooms continued)

Windows :

Some are Not Operating as Intended  
Condition: Repair or Replace



Comment 54:

Some of the windows are difficult to open and close. It was also noted that some of the locks were difficult to operate. One of the windows has some damaged drywall near the window sill. it is recommended to contact the contractor/builder to make repairs.

Electric:

Random Outlets Tested  
Condition: Satisfactory

## Bedrooms # 611

Flooring :

Tile

Condition: Satisfactory



(Bedrooms # 611 continued)

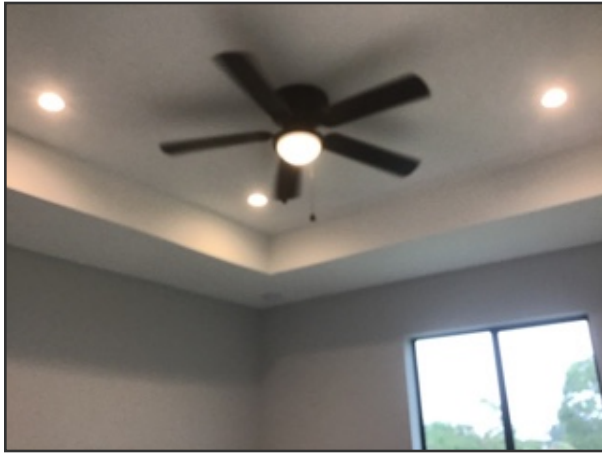
Ceiling & Wall Covering :

Drywall

Condition: Satisfactory

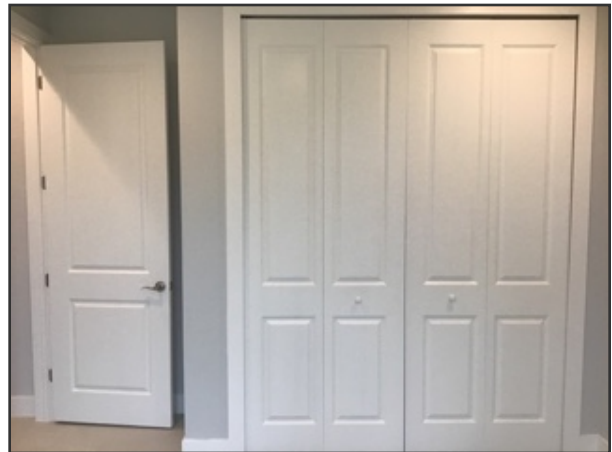


(Bedrooms # 611 continued)



Doors:

Operating as Intended  
Condition: Satisfactory



(Bedrooms # 611 continued)



Windows :

Some are Not Operating as Intended  
Condition: Repair or Replace



Comment 55:

Some of the windows are difficult to open and close. It was also noted that some of the locks were difficult to operate. It is recommended to contact the contractor/builder to make repairs.

Electric:

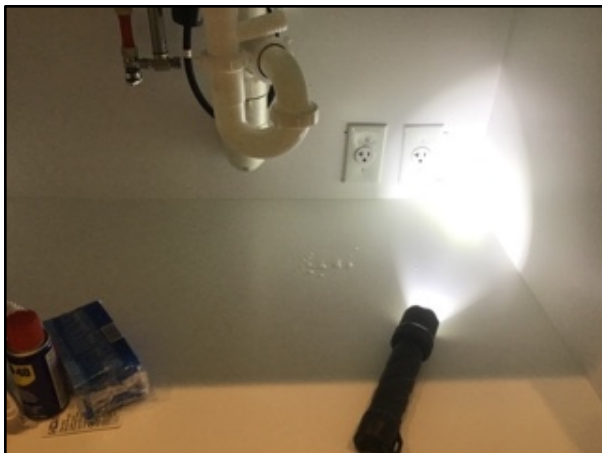
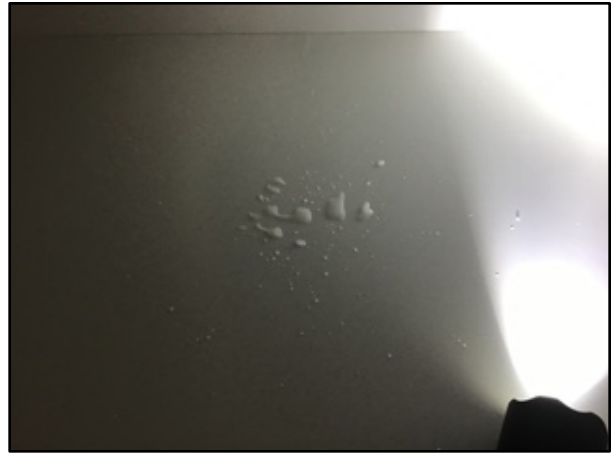
Random Outlets Tested  
Condition: Satisfactory



# Kitchen

Sink:

Single, Stainless, Leaks Below the Sink  
Condition: Repair or Replace



Comment 56:

The sink was not sealed properly to the counter. This was causing a leak in the cabinet below. It is recommended to contact the contractor/builder to repair.

Faucet Produces Hot Water:

Yes

Condition: Satisfactory

Water Flow Test:

Acceptable Drop in Pressure

Condition: Satisfactory

Countertops:

Firmly Attached to Cabinets

Condition: Satisfactory

(Kitchen continued)

Cabinet Material :	Wood
	Condition: Satisfactory
Cabinet Doors:	Opened and Closed as Intended
	Condition: Satisfactory
Cabinets Secured to Wall :	Yes
	Condition: Satisfactory
Cabinet Drawers:	Operated as Intended
	Condition: Satisfactory
Disposal:	Not Present
Kitchen Floor:	Tile
	Condition: Satisfactory



## Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:	Not Present
Range Hood:	Not Present
Refrigerator & Approximate Age :	Not Present
Dishwasher & Approximate Age:	Not Present
Microwave:	Not Present
GFCI Outlets:	Operating as Intended
	Condition: Satisfactory

## Kitchen # 611

Sink:

Single, Stainless, Leaks Below the Sink  
Condition: Repair or Replace



Comment 57:

The sink was not sealed properly to the counter. This was causing a leak in the cabinet below. It is recommended to contact the contractor/builder to repair.

Faucet Produces Hot Water:

Yes

Condition: Satisfactory

Water Flow Test:

Acceptable Drop in Pressure

Condition: Satisfactory

Countertops:

Firmly Attached to Cabinets

Condition: Satisfactory

(Kitchen # 611 continued)

Cabinet Material :

Wood

Condition: Satisfactory



Comment 58:

A section of the cabinet trim was not installed. It is recommended to contact the contractor/builder to install.

Cabinet Doors:

Opened and Closed as Intended

Condition: Satisfactory

Cabinets Secured to Wall :

Yes

Condition: Satisfactory

Cabinet Drawers:

Operated as Intended

Condition: Satisfactory

Disposal:

Not Present

Kitchen Floor:

Tile

Condition: Satisfactory

(Kitchen # 611 continued)

## Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:	Not Present
Range Hood:	Not Present
Refrigerator & Approximate Age :	Not Present
Dishwasher & Approximate Age:	Not Present
Microwave:	Not Present
GFCI Outlets:	Operating as Intended
	Condition: Satisfactory

# Laundry

Laundry Room Location :	Near Garage
Washer Manufacture & Approximate Age:	Condition: Satisfactory
Hot and Cold Water Supply:	Not Present
	Yes
	Condition: Satisfactory



GFCI Protection:	Yes
	Condition: Satisfactory
Drain Pipe And Electric:	Are a Safe Distance Apart
	Condition: Satisfactory
Dryer Manufacture & Approximate Age:	Not Present
Dryer Power:	Electric
	Condition: Satisfactory
Dryer Venting:	To Exterior
	Condition: Satisfactory
Built In Cabinets:	Not Present



(Laundry continued)

Laundry Sink:

Vanity top not securely fastened to the cabinet  
Condition: Repair or Replace



## Laundry # 611

Laundry Room Location : Near Garage  
Condition: Satisfactory  
Washer Manufacture & Not Present  
Approximate Age:

Hot and Cold Water Supply: Yes  
Condition: Satisfactory



GFCI Protection: Yes  
Condition: Satisfactory  
Drain Pipe And Electric: Are a Safe Distance Apart  
Condition: Satisfactory

Dryer Manufacture & Approximate Age: Not Present

Dryer Power: Electric  
Condition: Satisfactory

Dryer Venting: To Exterior  
Condition: Satisfactory

Built In Cabinets: Not Present

(Laundry # 611 continued)

Laundry Sink:

Vanity top not securely fastened to cabinet  
Condition: Repair or Replace



# Dock/Seawall

The inspection of the dock and seawall is limited to a visual inspect from the land side only.

Seawall Construction:

Concrete

Condition: Satisfactory



Dock Construction:

Concrete

Condition: Repair or Replace



(Dock/Seawall continued)



Comment 59:

There was a crack in the concrete, an electrical outlet is missing and two of the wooden support columns have movement. It is recommended to contact the contractor/builder to make repairs.